

Drain: SPRING LAKE ESTATES DRAIN Drain #: 282
Improvement/Arm: SPRING LAKE ESTATES - SECTION 2 - LOTS (1-18)
Operator: JOH Date: 7-7-04
Drain Classification: Urban/Rural Year Installed: 1994

GIS Drain Input Checklist

- Pull Source Documents for Scanning JOH
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JOH
- Digitize & Attribute SSD JOH
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JOH
- Sum drain lengths & Validate JOH
- Enter Improvements into Posse JOH
- Enter Drain Age into Posse _____
- Sum drain length for Watershed in Posse _____
- Check Database entries for errors JOH

**Gasb 34 Footages for Historical Cost
Drain Length Log**

Drain-Improvement: SPRING LAKE ESTATES DRAIN - SPRING LAKE ESTATES - SECTION 2 - LOTS (1-18)

Drain Type:	Size:	Length <small>SURVIVAL REPORT</small>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
SSD	6"	1,986'	1,986'	Ø		
RCP	12"	892.51	892.96	+4.5		
	15"	1,118.15'	1,118.15'	Ø		
	18"	126.42'	126.42'	Ø		
	21"	146.72'	146.72'	Ø		

Sum: 4269.80' 4270.25' Ø

Final Report: _____

Comments:
SR AND AB DISAPPEAR ON 12" RCP LENGTHS.

Spring Lake Estates Drain – Spring Lake Estates

Bonds: 1001 = \$147,600.00

Total bond amount split 2 ways:

Section 1 Arm	4,270.25'
Section 2 Arm	<u>4491'</u>

Total Footage	8,761.25'
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Section 1 Arm:

$$4270.25 / 8761.25 = 49\%$$

Section 2 Arm:

$$4491 / 8761.25 = 51\%$$

$$49 + 51 = 100$$

Cost Per Improvement:

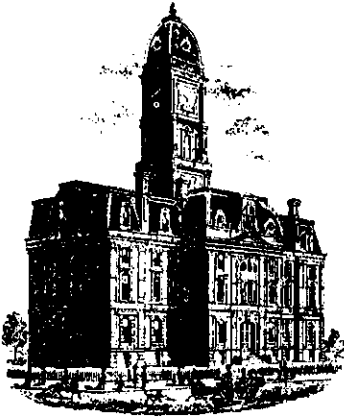
Section 1 Arm:

$$147,600.00 * 49\% = \$72,324.00$$

Section 2 Arm:

$$147,600.00 * 51\% = \$75,276.00$$

$$\$72,324.00 + \$75,276.00 = \$147,600.00$$



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Suite 146

776-8495

One Hamilton County Square

Noblesville, Indiana 46060-2230

June 1, 1995

TO: Hamilton County Drainage Board

RE: Spring Lake Estates Drain
Lots 1 through 18

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Spring Lake Estates Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6"	SSD	1986	feet	18"	RCP	125.38	feet
12"	RCP	894.24	feet	21"	RCP	145.33	feet
15"	RCP	949.86	feet				

The total length of the drain will be 4100.81 feet.

The retention pond (lake) located offsite at rear of Lots 11 to 17 is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or in rear yards. Only the main SSD lines, which are located

within the easement/right of way, are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$50.00 per lot, \$5.00 per acre for roadways , with a \$50.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$ 950⁰⁰

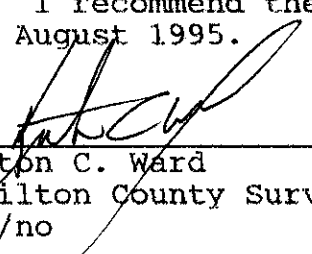
Parcels assessed for this drain may be assessed for the William Creek or Osborn-Collins Drain at sometime in the future.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-57 to 69. Therefore, this drain shall be designated as an Urban Drain.

The offsite outlet into Williams Creek has been constructed in the Right-of-Way for Springmill Road. Easement for the drain will affect the West line of Lots 1 and 14 in Williams Creek Farms Subdivision. I recommend that the easements for the offsite be limited to the existing fifteen (15') foot platted easement for these lots as shown on the plat for Williams Creek Farms, recorded in Plat Book 8, Page 1-3.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Spring Lake Estates as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for August 1995.



Kenton C. Ward
Hamilton County Surveyor
KCW/no



KENWORTH OF INDIANAPOLIS, INC.

2929 S. HOLT ROAD
INDIANAPOLIS, INDIANA 46241
(317) 247-8421

July 2, 1999 *JN 7/6/99*



Hamilton County Commissioners
One Hamilton County Square, Suite 157
Noblesville, IN 46060-2230

Gentlemen:

We hereby establish our Irrevocable Letter of Credit No. 1001 in your favor for the account of Donald W. Bottamiller and Dennis L. Bottamiller as developers of the subdivision known as Spring Lake Estates, USD \$147,600.00 (One Hundred Forty-Seven Thousand, Six-Hundred And 00/100 U.S. Dollars), available by your sight drafts drawn on us and accompanied by the following document(s): the beneficiary's certificate stating that "Dennis L. Bottamiller and Donald W. Bottamiller, as developers, have failed to complete the storm sewage and drainage improvements for the subdivision known as Spring Lake Estates within Clay Township, Hamilton County, Indiana

All Drafts drawn under this Letter of Credit are to be endorsed hereon and shall bear the clause: "Drawn under ITC Acceptance Company, 2929 South Holt Road, Indianapolis, IN 46241, Indiana Letter of Credit No. 1002" and must be drawn and presented at this office on or before June 27, 1995. *JN 7/6/1999*

We hereby agree with drawers, endorsers and bona fide holders of drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored upon proper presentation.

Except as otherwise expressly stated herein, this credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce, Publication No. 500.

Your acceptance of the Letter of Credit will constitute your agreement to return for the account of Donald W. Bottamiller and Dennis L. Bottamiller, its affiliates, subsidiaries, and/or other related entities any funds paid to you hereunder not applied by you in reimbursement of any of the items herein above referred to as a result of your execution of the aforesaid bond(s).

In no event will the Letter of Credit be terminated prior to One Year from the above date.

We agree to renew this Letter of Credit for a period of one year from the initial expiration date and all extensions or renewals hereof. In the event the undersigned elects not to renew this Letter of Credit, it agrees to give written notice of such election by certified mail, return receipt requested and postmarked no less than 30 days prior to the



KENWORTH OF INDIANAPOLIS, INC.
2929 S. HOLT ROAD
INDIANAPOLIS, INDIANA 46241
(317) 247-8421

expiration of any term. Failure to give such notice will cause this Letter of Credit to automatically renew.

If this Letter of credit shall not be extended as herein above provided and your bond(s) have not been released, you may draft upon us forthwith, utilizing the above statement, for the full amount of the Letter of Credit, at which time it will be surrendered to ITC Acceptance Company, 2929 South Holt Road, Indianapolis, IN 46241.

We hereby agree that all drafts drawn and negotiated in compliance with the terms hereof will be duly honored upon presentation and delivery by any method of your choice of the documents specified above during the term of this Letter of Credit or within 15 days from the effective date except so far as otherwise expressly stated, this Letter of Credit is subject to the "Uniform Customs and Practice for Documentary Credit (1983 revision), International Chamber of Commerce publication No. 400

Very truly yours,

ITC Acceptance Company
BY *Eldon D. Palmer*
Kenworth of Indianapolis, Inc
President

John A. Nichols 7/6/99

02/06

John K. ...

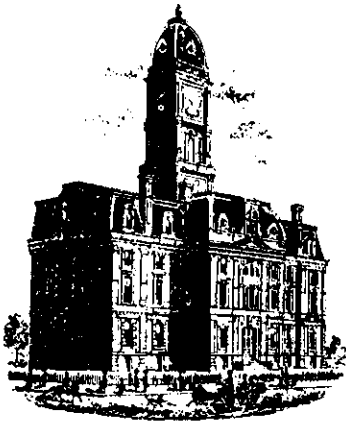
BOARD OF COMMISSIONERS
OF THE COUNTY OF HAMILTON

John C. ...

John C. ...

DATE _____

ATTEST:
HAMILTON COUNTY AUDITOR



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

May 12, 1997

**Re: Spring Lake Estates Drain - Sec. 1 arm
(Lots 1-18)**

Attached are as-builts, certificate of completion & compliance, and other information for Spring Lake Estates Sec. 1. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated June 1, 1995. The changes are as follows:
The 12" RCP is now 892.51 feet. The 15" RCP is now 1118.15 feet. The 21" RCP is now 146.72 feet. The 18" RCP is now 126.42 feet.

The length of the drain due to the changes described above is now **4,269.80 feet.**

The non-enforcement was approved by the Board at its meeting on April 21, 1995 and recorded under instrument #9548616.

The bond or letter of credit from Kenworth of Indianapolis, numbered 1002, and dated June 27, 1994, in the amount of \$147,000.00 has expired.

I recommend the Board approve the drains construction as complete and acceptable.

Sincerely,

Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

CONSTRUCTION PLANS FOR SPRING LAKE ESTATES

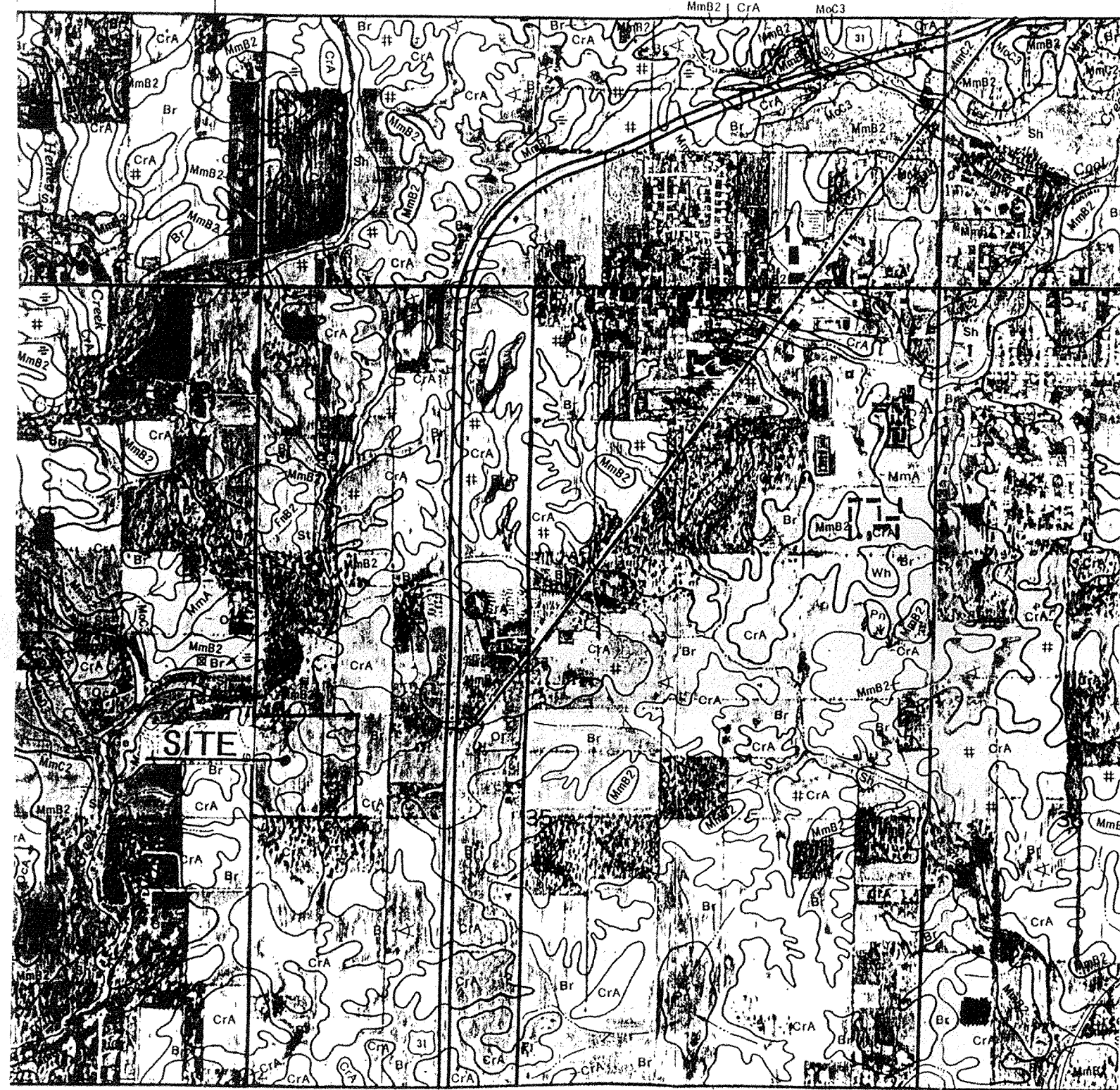
LEGAL DESCRIPTION

Part of the West Half of the Northwest Quarter of Section 35, Township 18 North, Range 3 East in Clay Township, Hamilton County, Indiana, described as follows:

Beginning at the Southwest corner of the Northwest Quarter of Section 35, Township 18 North, Range 3 East; thence North 00 degrees 00 minutes 00 seconds (assumed bearing) on the West line of said Northwest Quarter 984.13 feet to the Southwest corner of Williams Creek Farms, a subdivision in Hamilton County, Indiana, the plat of which is recorded on pages 1 through 3 of Plat Book 8 in the Office of the Recorder of Hamilton County, Indiana; thence North 88 degrees 51 minutes 53 seconds East on the South line of said subdivision, measured parallel with the South line of said Northwest Quarter 1106.64 feet to a point 221.31 feet South 88 degrees 51 minutes 53 seconds West of the East line of the West Half of said Northwest Quarter; thence South 00 degrees 01 minute 21 seconds East parallel with the East line of the West Half of said Northwest Quarter 984.13 feet to a point on the South line of said Northwest Quarter that is 221.31 feet West of the Southeast corner of said West Half; thence South 88 degrees 51 minutes 53 seconds West on said South line 1107.02 feet to the place of beginning, containing 25.00 acres, more or less.

Subject to the right-of-way for Spring Mill Road and to all other legal easements and rights-of-way.

The above legal description was prepared by Welhe Engineers, Inc. for an Indiana Minimum Standards Survey dated February 3, 1993, and is specifically excluded from the professional engineer certification of these plans by Earthscape Engineering Corporation.



SOIL TYPES PRESENT ON SITE:

- BROOKSTON - Br
- CROSBY - CrA
- MIAMI - MmB2

SOILS MAP

SITE WORK GENERAL NOTES AND SPECIFICATIONS

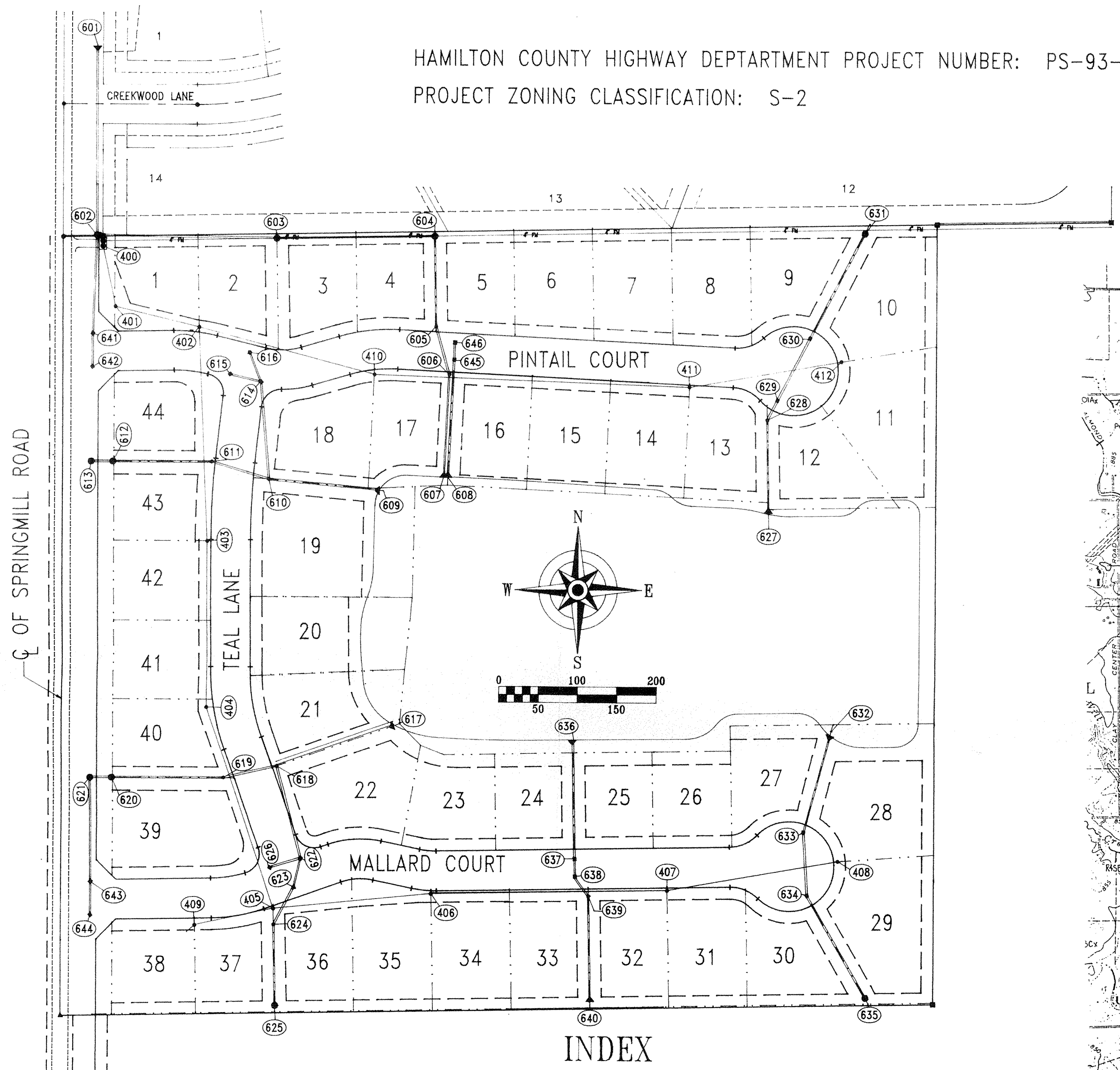
NOTICES AND PERMITS

1. The Contractor shall coordinate and confirm with Owner that all permits and approvals are obtained from the respective private, City, County and State agencies prior to starting construction.
2. The Contractor shall contact INDIANA UNDERGROUND PLANT PROTECTION SERVICE INC., 1-800-382-5544, and all other utility companies to locate all mains, conduits, service lines, etc. in the construction affected area. Existing utility structures are shown here in accordance with available information at the time of design. The location and protection of utility structures and facilities, their support and maintenance during construction (in cooperation with applicable utility), is the express responsibility of the Contractor in the performance of the Contract and in the preparation of the bid. The Contractor shall notify the Engineer of any changes, errors or omissions found on these plans or in the field before work is started or resumed.
3. It shall be the Contractor's responsibility for notification and coordination of all construction with respective utility companies.
4. It shall be the responsibility of the Contractor to maintain quality control throughout the project; failure to do so may result in removal and replacement of the defective work. It is recommended that the Contractor have a qualified supervisor on the job site at all times during construction.
5. It is essential that the work to be done in conjunction with this project be installed according to these specifications. The Engineer will be required to certify to certain portions of this project upon completion. Therefore, it is necessary to obtain approval and acceptance by the appropriate governmental agencies that construction was done in compliance with these plans and specifications. Any damaged or defective work will be the Contractor's responsibility to correct or replace. All changes or discrepancies in plans to be reviewed with Engineer prior to implementing changes field.

DESIGN DATA

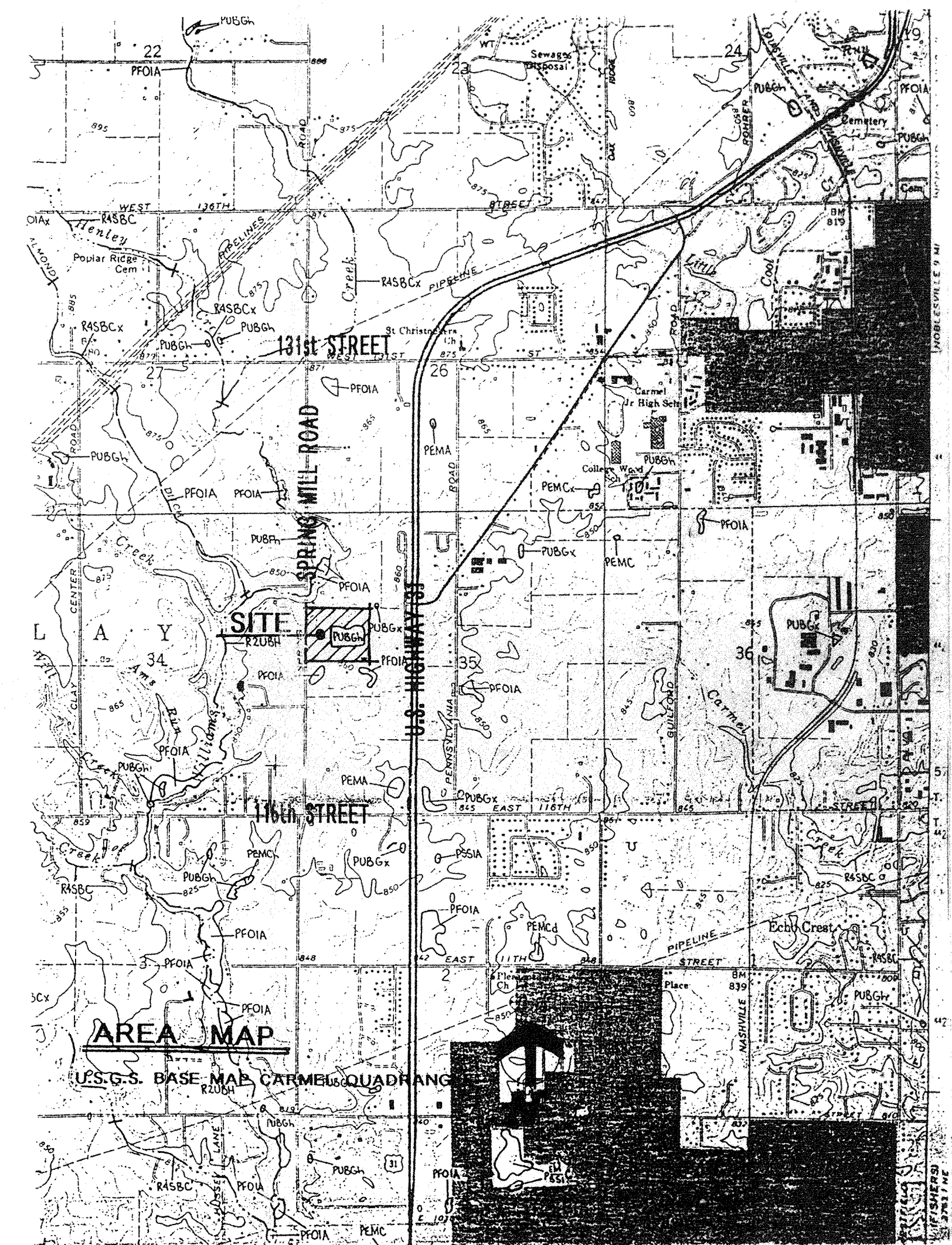
STREET DATA:
 PINTAIL COURT: 932.52 FT. = 0.177 MI.
 MALLARD COURT: 932.86 FT. = 0.177 MI.
 TEAL LANE: 665.71 FT. = 0.126 MI.
 PROJECT TOTAL: 2,531.09 FT. = 0.479 MI.
 GROSS DENSITY DATA:
 44 LOTS / 25.00 ACRES = 1.76 LOTS PER ACRE

HAMILTON COUNTY HIGHWAY DEPARTMENT PROJECT NUMBER: PS-93-0007
 PROJECT ZONING CLASSIFICATION: S-2



INDEX

SHEET No.	DESCRIPTION
CS	COVER SHEET
201	SITE DEVELOPMENT PLAN
301	SOIL EROSION CONTROL PLAN
401	STREET PLAN & PROFILE
402	STREET PLAN & PROFILE
403	STREET PLAN & PROFILE
404	ENTRANCE DETAILS
405	INTERSECTION DETAILS
501	SANITARY PLAN & PROFILE
502	SANITARY PLAN & PROFILE
503	SANITARY PLAN & PROFILE
504	SANITARY LIFT STATION
505	FORCE MAIN PLAN & PROFILE
601	STORM SEWER PLAN & PROFILE
602	STORM SEWER PLAN & PROFILE
603	STORM SEWER PLAN & PROFILE
604	STORM SEWER PLAN & PROFILE
801	STANDARD DETAILS
802	STANDARD DETAILS
901	STANDARD SPECIFICATIONS
902	STANDARD SPECIFICATIONS

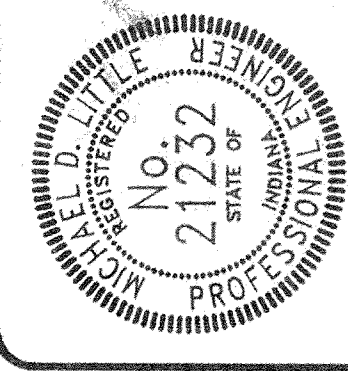
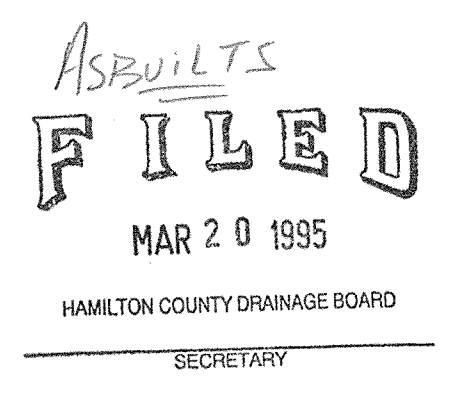


LOCATION MAP

DO NOT EXCAVATE BLIND! - CALL:
 INDIANA UNDERGROUND PLANT PROTECTION SERVICE INC.
 1-800-382-5544 TO LOCATE EXISTING UTILITY SERVICES.

OWNER/DEVELOPER

Donald W. and Dennis L. Bottamiller
 12121 N. Springmill Road
 Carmel, IN 46032
 (317)-844-8800



Michael D. Little
Michael D. Little, PE

CERTIFIED BY:

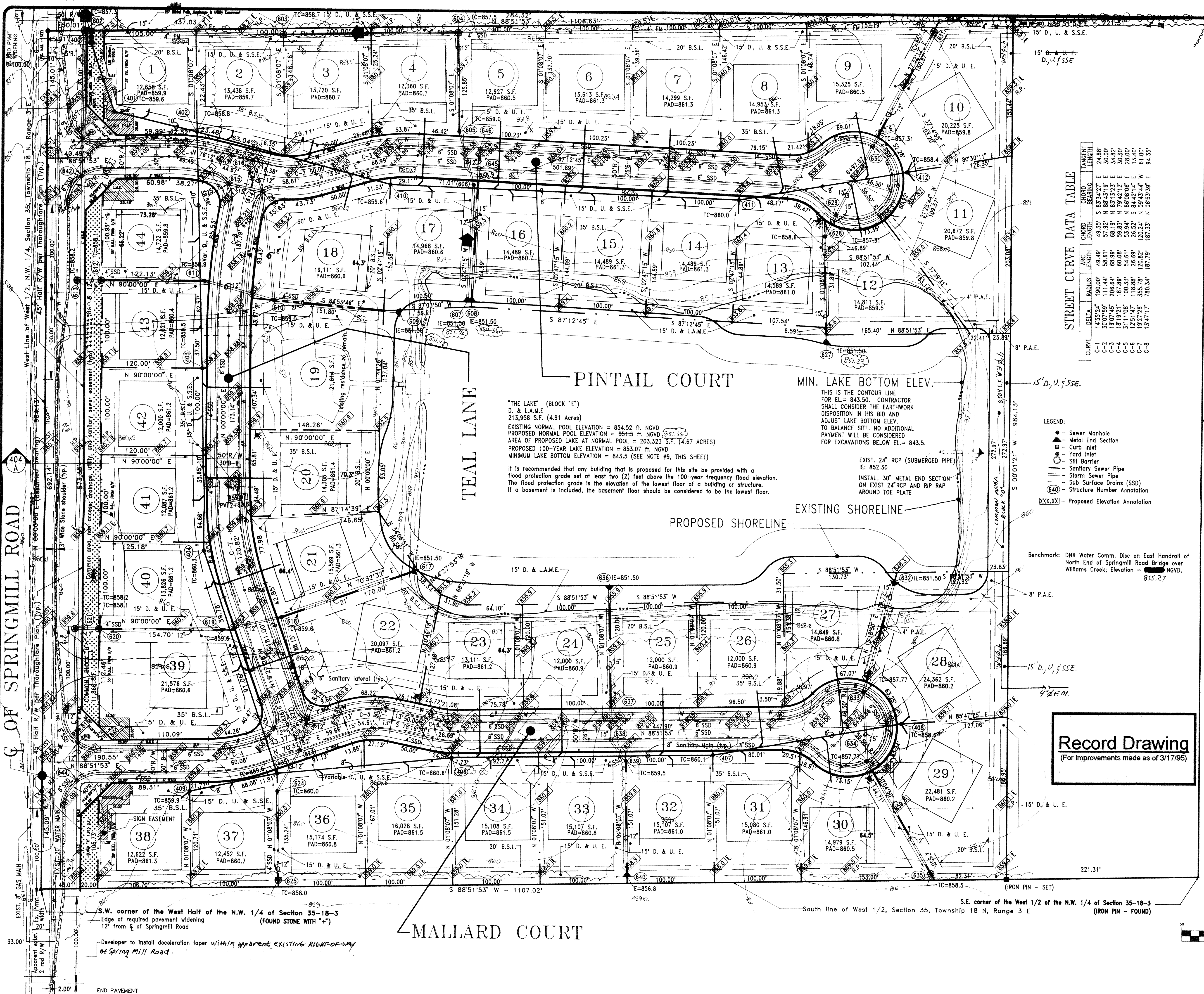
REVISIONS:

NO.	DATE	DESCRIPTION
1	21 MAY 93	PLAN DATE: 21 MAY 93
2		REV. DATE:

EARTHSCAPE ENGINEERING CORPORATION
 Land Planning • Civil Engineering • Landscape Architecture
 Michael D. Little, PE, No. 21232
 607 North East Street
 Greentield, IN 46140

PROJECT: SPRING LAKE ESTATES
 TITLE: COVER SHEET
 DRAWN BY: MICHAEL D. LITTLE
 SCALE: AS NOTED

SHEET:
 CS



STREET CURVE DATA TABLE

CURVE	DELTA	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	TANGENT LENGTH
C-1	49.49°	190.00'	49.49'	49.49'	E 24.88'	24.88'
C-2	36.25°	260.00'	36.25'	36.25'	S 30.00'	30.00'
C-3	18.07°	510.00'	18.07'	18.07'	E 30.30'	30.30'
C-4	18.92°	187.89'	18.92'	18.92'	E 28.00'	28.00'
C-5	31.11°	100.33'	31.11'	31.11'	E 13.40'	13.40'
C-6	12.51°	118.88'	12.51'	12.51'	E 61.00'	61.00'
C-7	19.27°	355.28'	19.27'	19.27'	E 94.35'	94.35'
C-8	13.47°	780.34'	13.47'	13.47'	E 187.33'	187.33'

- LEGEND:**
- Sewer Manhole
 - Metal End Section
 - Curb Inlet
 - Yard Inlet
 - Silt Barrier
 - Sanitary Sewer Pipe
 - Storm Sewer Pipe
 - Sub Surface Drains (SSD)
 - Structure Number Annotation
 - XXX-XX - Proposed Elevation Annotation

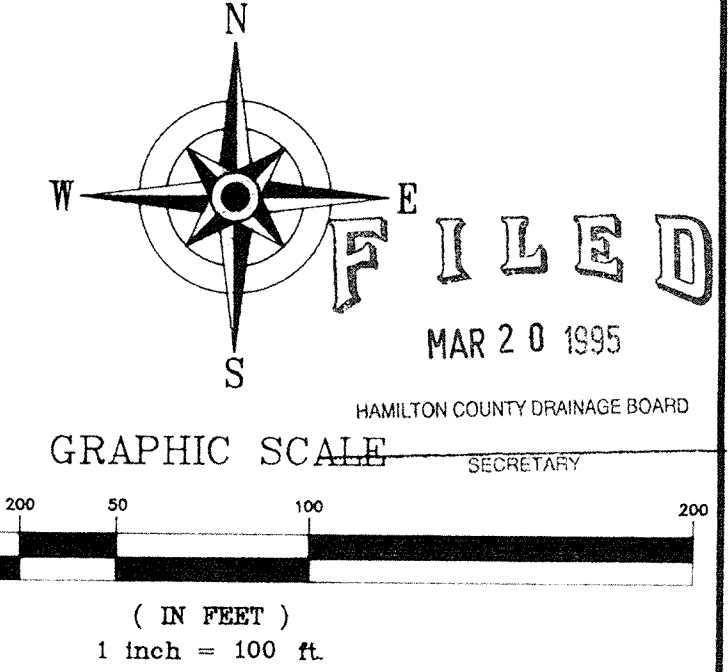
"THE LAKE" (BLOCK "E")
 D. & L.A.M.E.
 213,958 S.F. (4.91 Acres)
 EXISTING NORMAL POOL ELEVATION = 854.52 ft. NGVD
 PROPOSED NORMAL POOL ELEVATION = 851.5 ft. NGVD
 AREA OF PROPOSED LAKE AT NORMAL POOL = 203,523 S.F. (4.67 ACRES)
 PROPOSED 100-YEAR LAKE ELEVATION = 853.07 ft. NGVD
 MINIMUM LAKE BOTTOM ELEVATION = 843.5 (SEE NOTE #9, THIS SHEET)

It is recommended that any building that is proposed for this site be provided with a flood protection grade set at least two (2) feet above the 100-year frequency flood elevation. The flood protection grade is the elevation of the lowest floor of a building or structure. If a basement is included, the basement floor should be considered to be the lowest floor.

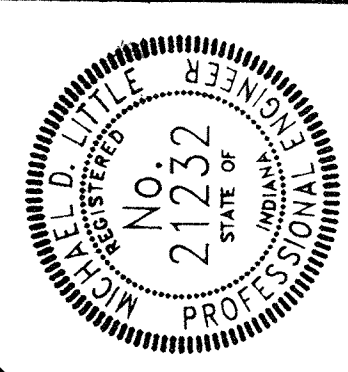
EXIST. 24" RCP (SUBMERGED PIPE)
 IE: 852.30
 INSTALL 30" METAL END SECTION
 ON EXIST 24" RCP AND RIP RAP
 AROUND TOE PLATE

Benchmark: DNR Water Comm. Disc on East Handrail of North End of Springmill Road Bridge over Williams Creek; Elevation = 855.27 NGVD.

Record Drawing
 (For Improvements made as of 3/17/95)



CONCRETE MONUMENT
 (FOUND ON SUBDIVISION CORNER)
 NOTES:
 1. Streets shall be constructed in compliance with Hamilton County Road Standards as described by Ordinance No. 9-5-89-1 as amended by Ordinance No. 4-15-91-A.
 2. Local Streets and Cul-de-Sacs shall be comprised of 9 inches of #53 stone base, 3 inches of Hot Asphaltic Concrete (HAC) binder, and 1 inch of HAC surface.
 3. Required improvements within the Spring Mill Road Right-of-Way shall be comprised of widening the existing east lane to 12 ft. in width and constructing two new entrances and related access/decel lanes. Said improvements shall have a pavement cross section consisting of 9" of #53 stone, 4" of HAC binder and 1-1/2" of HAC surface. Earth fill beneath paved areas shall be in accordance with Hamilton County Standards.
 The AGREEMENT TO IMPROVE ROADWAY ADJACENT TO THE NEW DEVELOPMENT is hereby incorporated into these plans by reference.
 If widening is performed after the resurfacing of Springmill Road by the Hamilton County Highway Department, then three (3) feet of surface milling for suitable fit-in to new surface will be required. Any roadway stripping that is destroyed by milling will be repaved by the developer.
 4. Developer shall provide and Hamilton County Highway Department shall install all required street name signs, stop signs, yield signs, speed limit signs and other necessary traffic warning signs in conformity with the Indiana Uniform Traffic Control Manual.
 5. The depicted water line layout is only a graphical representation. The actual location, pipe size, fire hydrants, valves, etc., shall be designed and installed in accordance with the policies and procedures of the Indianapolis Water Company.
 6. Arrow denotes the proposed drainage route of a 100+ year storm event to Williams Creek outfall.
 7. Site soils are predominately Br-Brookston silt clay loam and Cr-Crosby silt loam, 0 to 3 percent slopes.
 8. Elevations noted at centerline of street are top of curb elevations at that respective station. For gutterline elevations using standard roll curb and gutter, subtract 0.33 feet from top of curb elevations. Street-Plan & Profile sheets containing name, details and entrance details, cut-in-de-sacs and formation of street intersections, cul-de-sacs and entrances. Castings in roadway shall be 1/4" below top of pavement.
 9. Lake bottom elevations may vary in depth in order to balance the earth material requirements for the site; however the minimum depth of the lake below normal pool elevation shall be eight (8) feet.
 10. All radii and street dimensions shall be measured to back of roll curb.
 11. Bearings, dimensions and easements are shown for reference only. See record surveys and plats for exact information. Boundary information and corner markers are based on an Indiana Minimum Standards Survey dated February 3, 1993 by Weibe Engineers, Inc. and is specifically excluded from certification herein by Earthscape Engineering Corp.
 12. Existing utilities are shown based on best information furnished at time of design. However, anyone desiring to excavate for this project MUST first contact INDIANA UNDERGROUND PLANT PROTECTION SERVICE INC. 1-800-382-5544 and all other utility companies to locate all mains, conduits, service lines, etc.
 13. The existing topography is based on information provided by others.
 14. Refer to Sheet 802 for typical lake section, typical construction entrance detail, silt fence protection detail around yard inlets, and sediment protection detail for curb inlets.



CERTIFIED BY: *Michael D. Little*
 Michael D. Little, PE

REVISIONS:

NO.	DATE	DESCRIPTION
1	APRIL 1995	REVISED BY C.M. PAUL PROFILES
2	MARCH 1995	REVISED AS SHOWN - ELEVATIONS

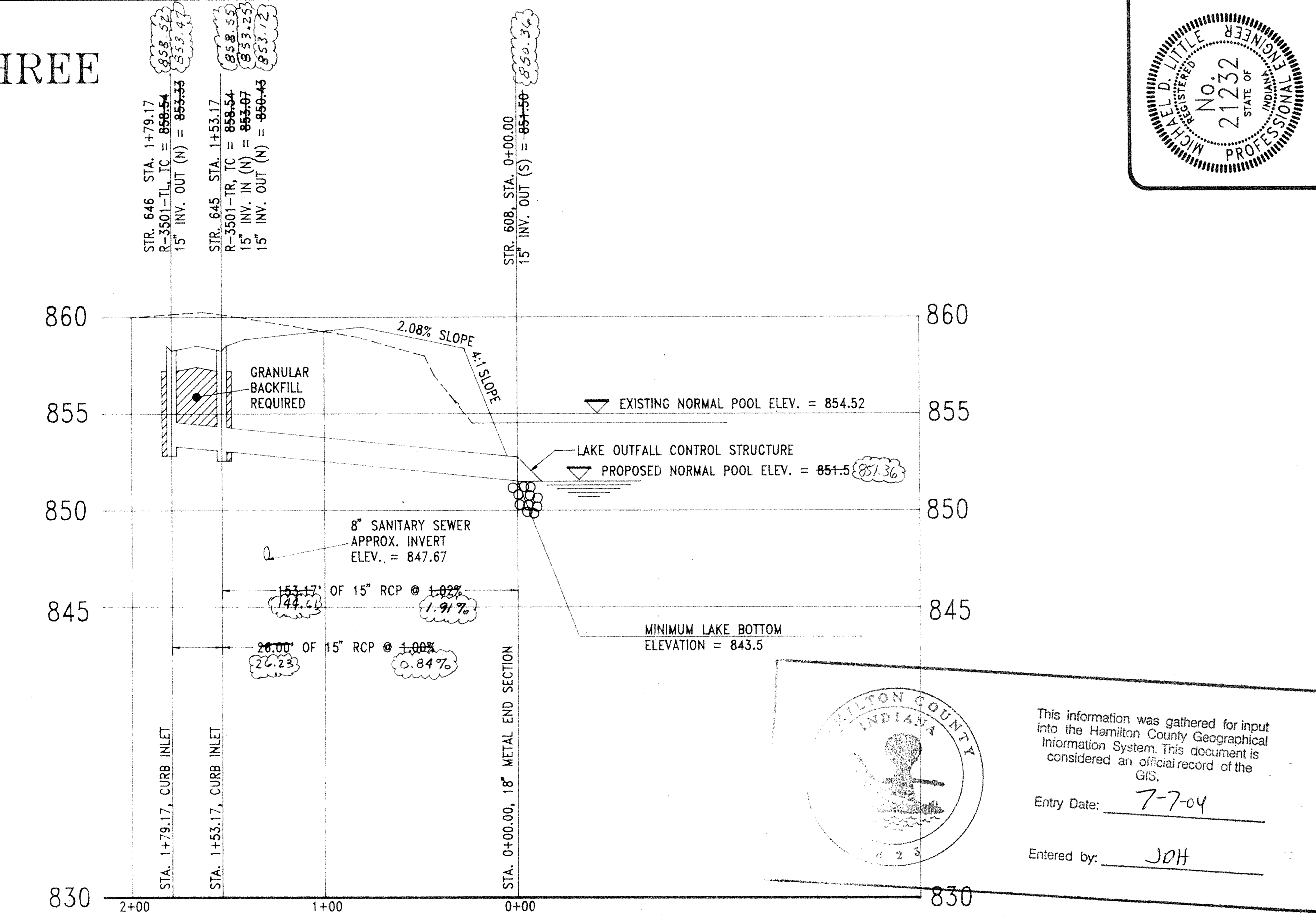
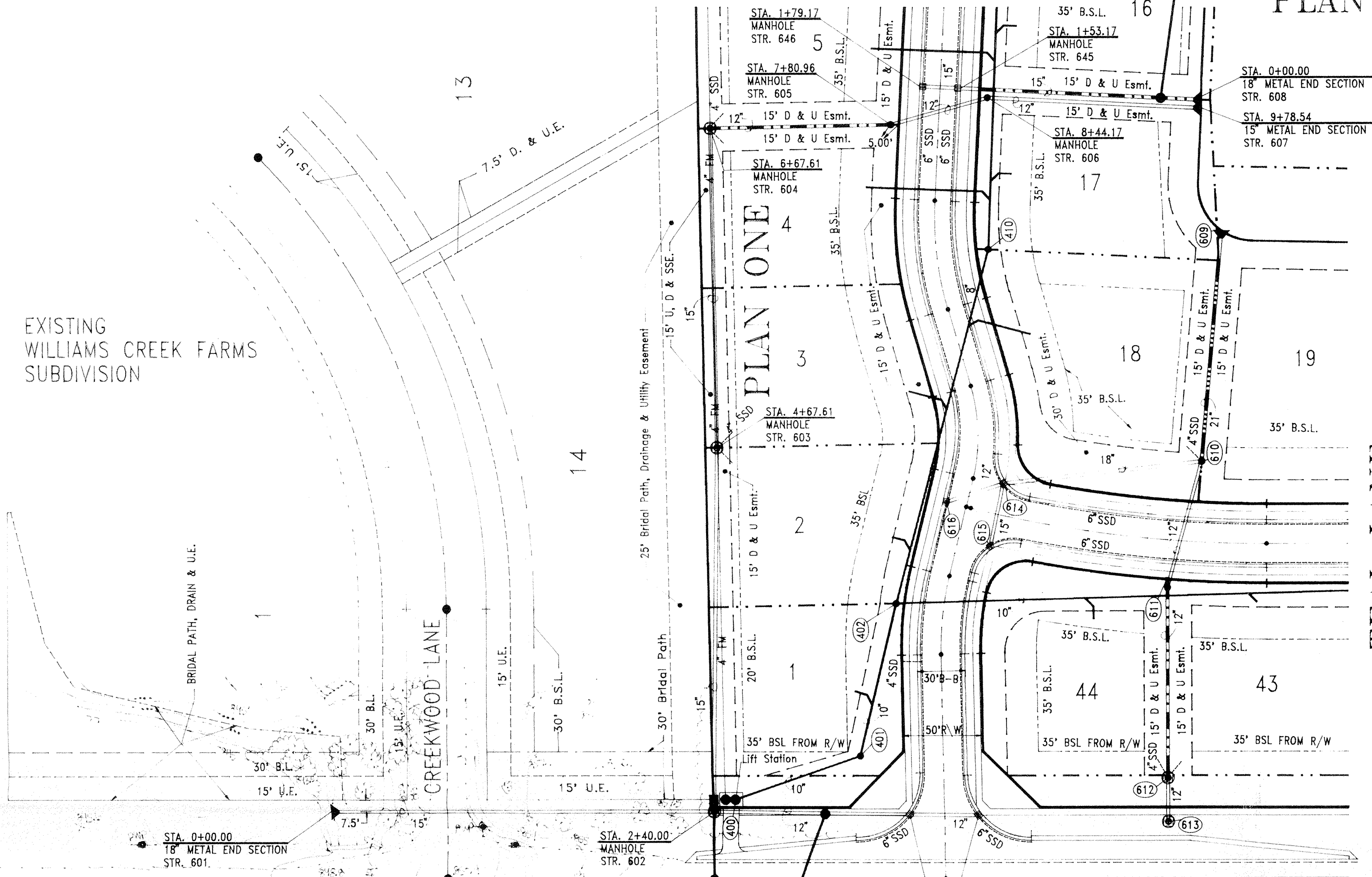
PLAN DATE: 21 MAY 95
 REV. DATE:
 NO. 1
 NO. 2

EARTHSCAPE ENGINEERING CORPORATION
 Land Planning • Civil Engineering • Landscape Architecture
 607 North East Street
 Greensburg, IN 46140
 Michael K. Terry, ASLA (317)-482-4373
 Michael D. Little, PE (317)-844-2610

PROJECT: SPRING LAKE ESTATES
 TITLE: Site Development Plan
 DRAWN BY: MICHAEL D. LITTLE
 SCALE: 1" = 50 ft.

SHEET:
 201

PINTAIL COURT PLAN THREE



PROFILE THREE

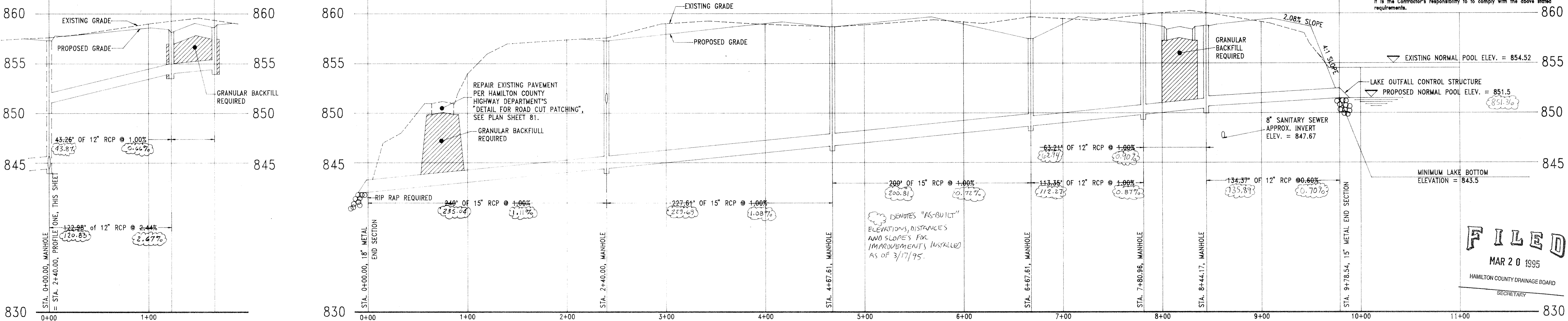
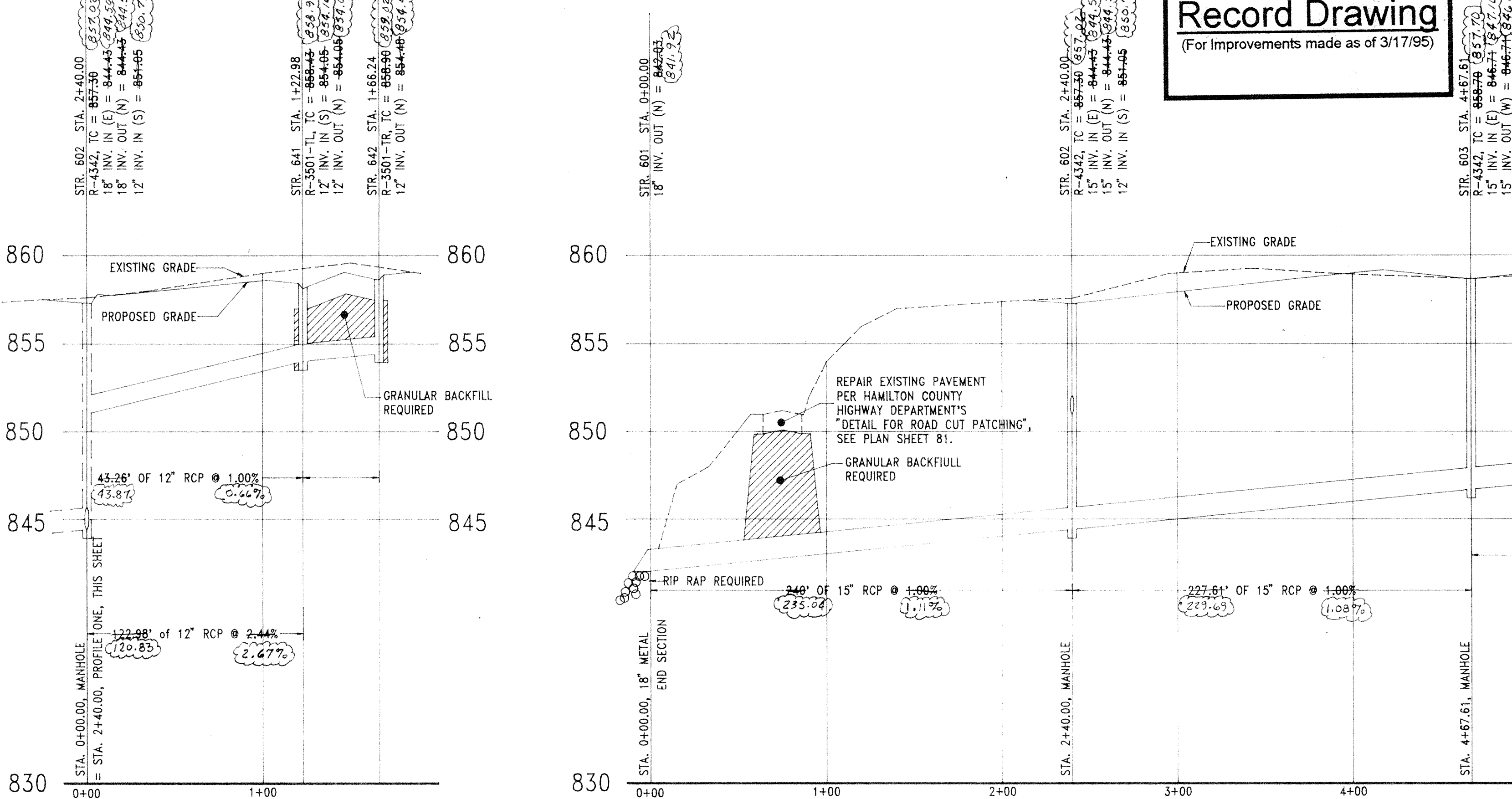
BENCHMARK:

DNR Water Commission Disc on East Handrail of North End of Spring Mill Road Bridge over Williams Creek. Elevation = 852.27 NGVD

NOTES:

1. Easements on Plan Views are shown for reference only and do not necessarily depict actual recorded information. Refer to recorded plat for exact information.
 2. All points of connection of proposed sanitary and storm sewers to existing systems must be verified from a known benchmark vertically and horizontally before start of construction. Any conflict with the plans must be reported to the Engineer immediately.
 3. All known utility locations shown are approximate. It is the Contractor's responsibility to contact all applicable utilities and the local utilities protection service prior to excavation.
 4. Lengths of pipes indicated are from center to center of structures and are NOT actual pipe lengths.
 5. The Contractor shall provide for periodic as-built checks on the storm sewers during construction to assure that the design grades are being maintained.
 6. Occupational Safety and Health Administration (OSHA) standards for excavation; Final Rule 29 CFR Part 1926, Subpart "P" applies to all excavations exceeding the (5) feet in depth.
 7. In addition, excavations exceeding twenty (20) feet in depth require the design of a trench safety system by a Registered Professional Engineer.
 8. After finish grade has been established on this project it shall be the Contractor's responsibility to adjust the elevations of the solid-tile storm and sanitary castings that are located outside of the street right-of-ways so that the top of castings are 0.20' above finish grade. Solid castings located within street R/W shall have top of casting set flush with finish grade.
 9. The Contractor shall be responsible for contacting all permit issuing agencies within the time frame specified by that agency prior to beginning construction.
- It is the Contractor's responsibility to comply with the above stated requirements.

SPRING MILL ROAD PLAN TWO

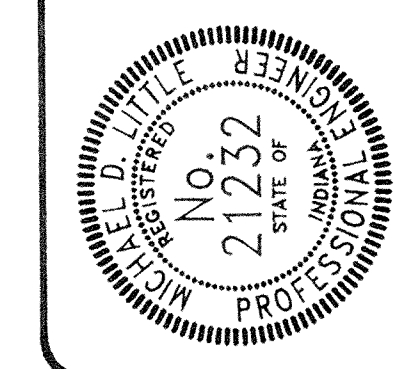


PROFILE TWO

PROFILE ONE

Record Drawing
(For Improvements made as of 3/17/95)

FILED
MAR 20 1995
HAMILTON COUNTY DRAINAGE BOARD
SECRETARY



CERTIFIED BY: *Michael D. Little*
Michael D. Little, PE

REVISIONS:	DESCRIPTION
1	ADDED "AS-BUILT" RECORD

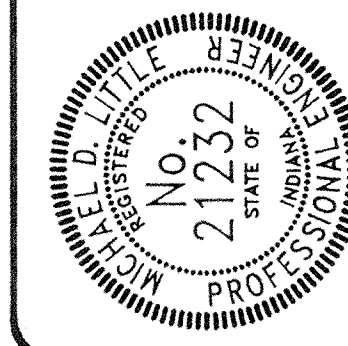
PLAN DATE: 21 MAY 95
REV. DATE: 3/17/95
NO. BY: JDL

ENTERED BY: JDL
ENTRY DATE: 7-7-04

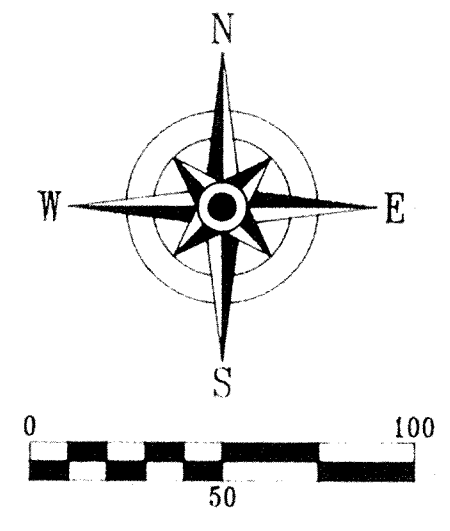
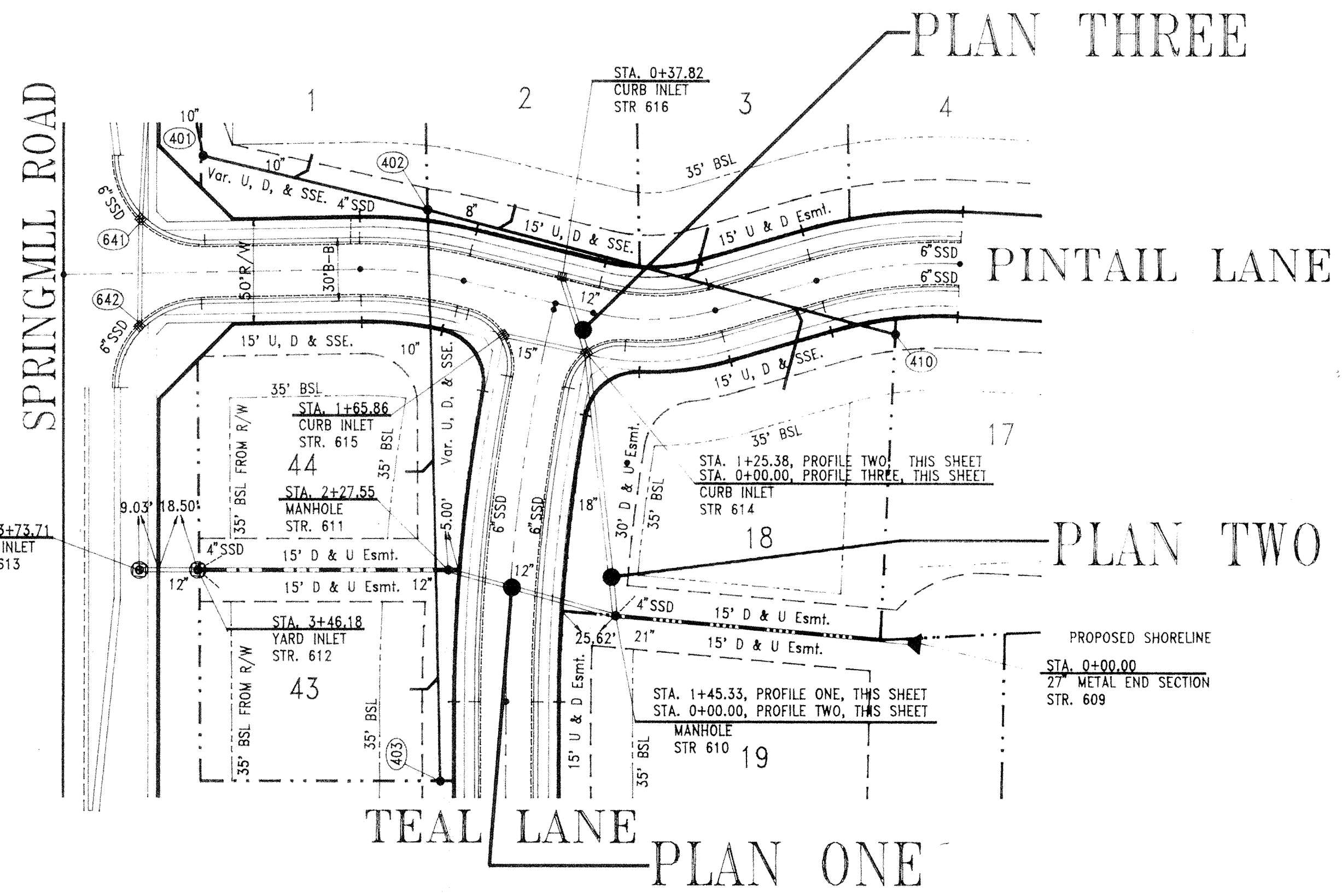
PROJECT: SPRING LAKE ESTATES
TITLE: Storm Sewer Plan & Profile
DRAWN BY: MICHAEL D. LITTLE
SCALE: 1"=50' Horiz.; 1"=5' Vert.

SHEET: 601

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CERTIFIED BY:
Michael D. Little
Michael D. Little, PE



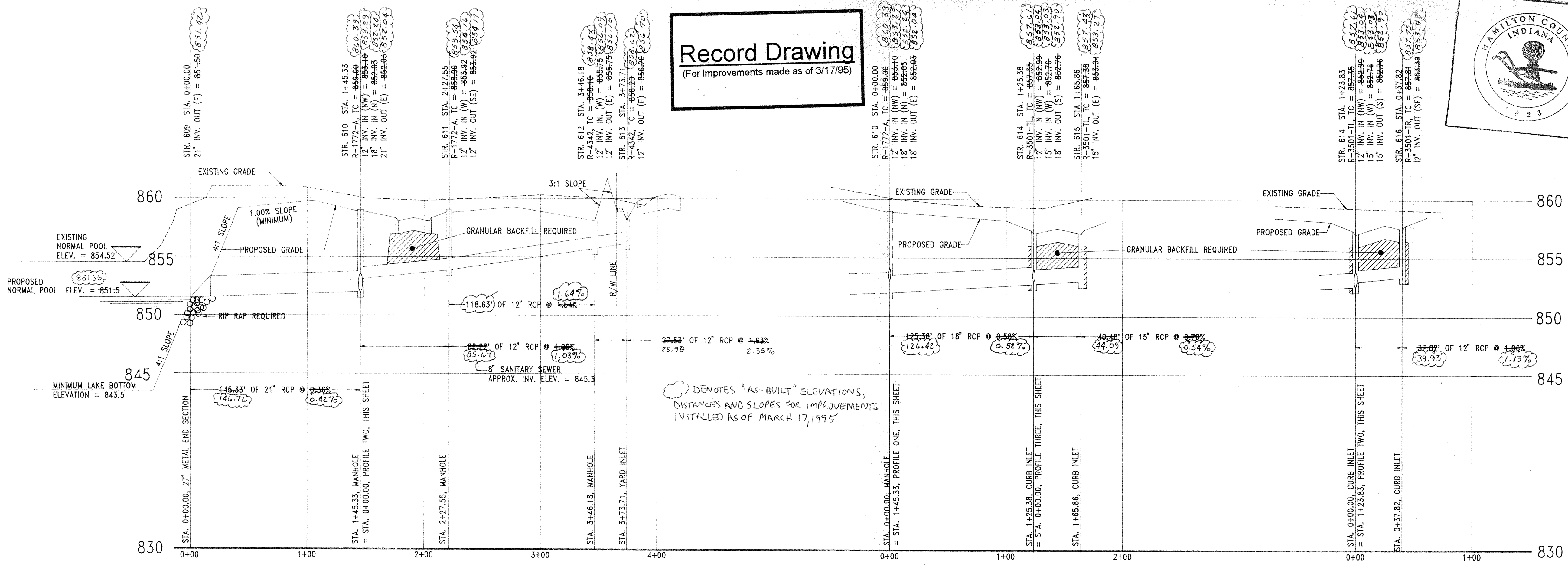
BENCHMARK:
DNR Water Commission Disc on East Handrail of North End of Springmill Road Bridge over Williams Creek.
Elevation = NGVD.
855.27

- NOTES:
- Easements on Plan Views are shown for reference only and do not necessarily depict actual recorded information. Refer to recorded plat for exact information.
 - All points of connection of proposed sanitary and storm sewers to existing systems must be verified from a known benchmark vertically and horizontally before start of construction. Any conflict with the plans must be reported to the Engineer immediately.
 - All known utility locations shown are approximate. It is the Contractor's responsibility to contact all applicable utilities and the local utilities protection service prior to excavation.
 - Lengths of pipes indicated are from center to center of structures and are NOT actual pipe lengths.
 - The Contractor shall provide for periodic as-built checks on the storm sewers during construction to assure that the design grades are being maintained.
 - Occupational Safety and Health Administration (OSHA) standards for excavation; Final Rule 29 CFR Part 1926, Subpart "P" applies to all excavations exceeding five (5) feet in depth.
 - In addition, excavations exceeding twenty (20) feet in depth require the design of a trench safety system by a Registered Professional Engineer.
 - After finish grade has been established on this project it shall be the Contractor's responsibility to adjust the elevations of the solid-ld storm and sanitary castings that are located outside of the street right-of-ways so that the top of castings are 0.20' above finish grade. Solid castings located within street R/W shall have top of castings flush with finish grade.
 - The Contractor shall be responsible for contacting all permit issuing agencies within the time frame specified by that agency prior to beginning construction.
- It is the Contractor's responsibility to comply with the above stated requirements.

PLAN DATE:	REV. DATE:	DESCRIPTION:
21 MAY 93	3/17/95	REVISIONS
		21232

EARTHSCAPE ENGINEERING CORPORATION
 Land Planning • Civil Engineering • Landscape Architecture
 607 North East Street
 Greentfield, IN 46140
 Michael K. Terry, ASLA (317)-462-4373
 Michael D. Little, PE (317)-844-2610

Record Drawing
 (For Improvements made as of 3/17/95)



HAMILTON COUNTY
 This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
 Entry Date: 7-7-04
 Entered by: JDM

PROFILE ONE

PROFILE TWO

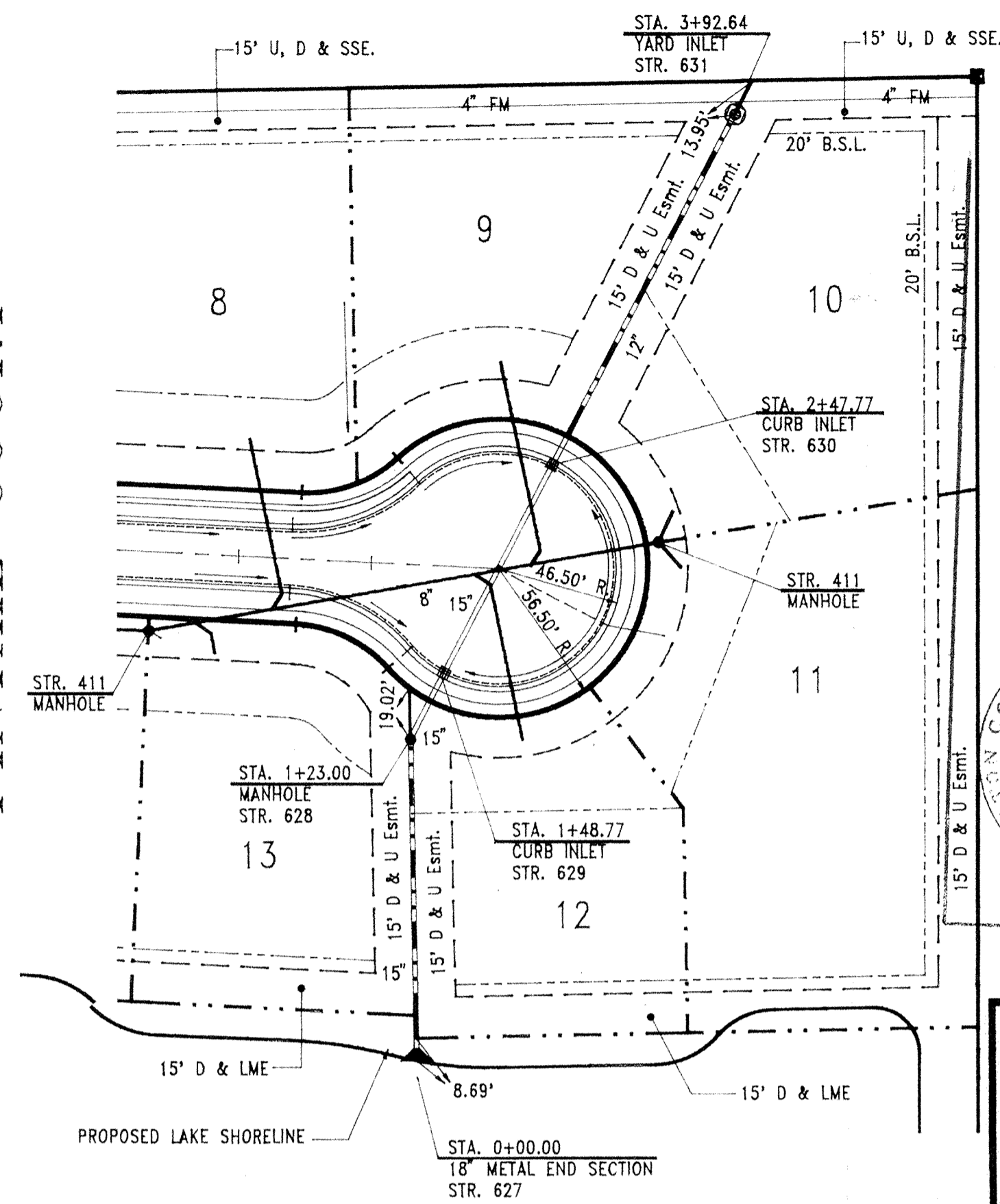
PROFILE THREE

FILED
 MAR 20 1995
 HAMILTON COUNTY DRAINAGE BOARD
 SECRETARY

PROJECT: SPRING LAKE ESTATES
 TITLE: Storm Sewer Plan & Profile
 DRAWN BY: MICHAEL D. LITTLE
 SCALE: 1"=50' Horiz.; 1"=5' Vert.

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PINTAIL COURT



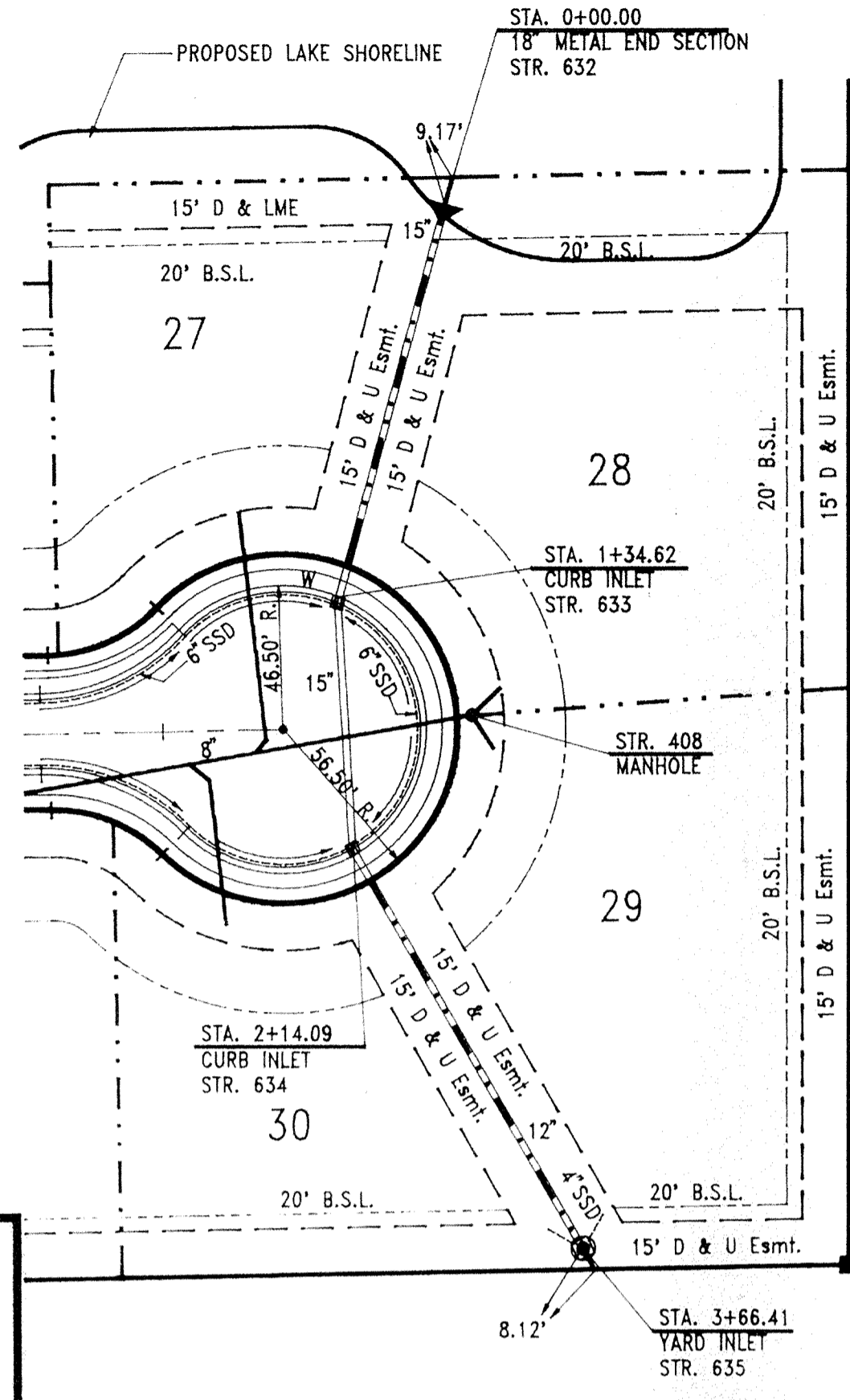
PLAN ONE

This information was gathered for input into the Hamilton County Geographical Information System. This information is considered an official record of the County.

Entry Date: 7/20/95
Entered by: JPH

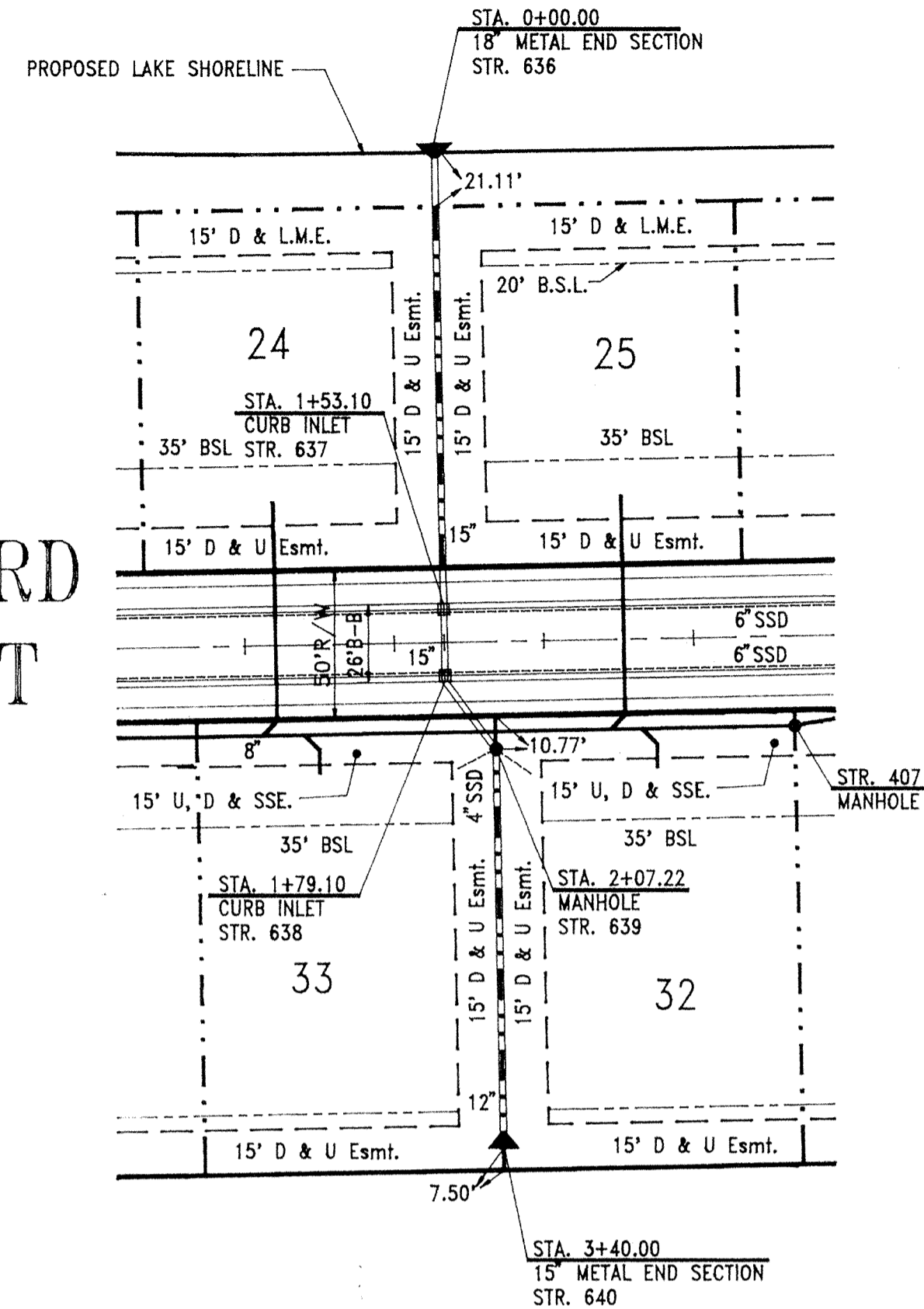
Record Drawing
(For Improvements made as of 3/17/95)

MALLARD COURT

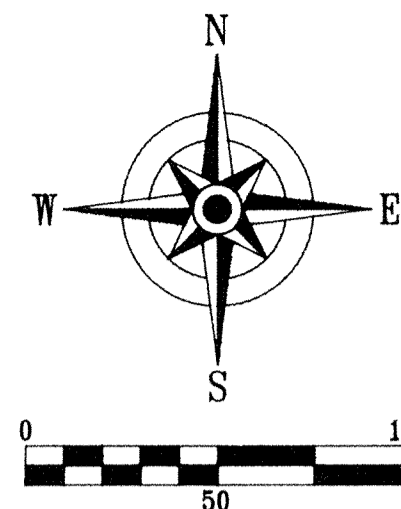


PLAN TWO

MALLARD COURT



PLAN THREE

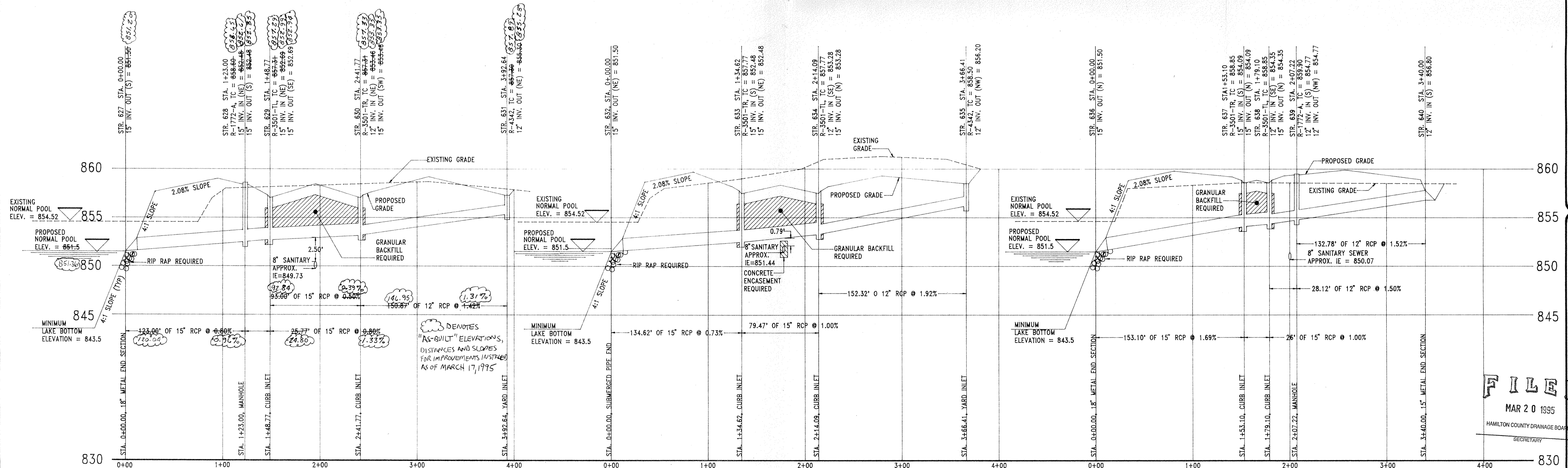


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BENCHMARK: DNR Water Commission Disc on East Handrail of North End of Springmill Road Bridge over Williams Creek.
Elevation = 855.27 NGVD

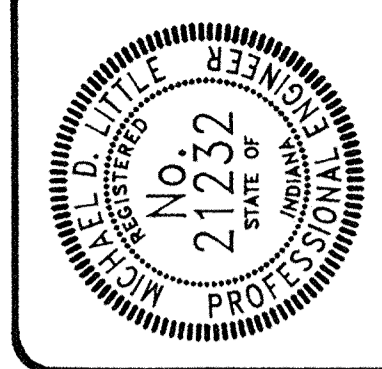


PROFILE ONE

PROFILE TWO

PROFILE THREE

FILE
MAR 20 1995
HAMILTON COUNTY DRAINAGE BOARD
SECRETARY



CERTIFIED BY:
Michael D. Little
Michael D. Little, PE

NO.	DATE	DESCRIPTION
1	7/17/95	ADDED VALVE TO PLAN TWO

EARTHSCAPE ENGINEERING CORPORATION
Land Planning • Civil Engineering • Landscape Architecture
607 North Earl Street
Greenfield, IN 46140
Michael K. Terry, ASLA (317)-462-4373
Michael D. Little, PE (317)-644-2810

PROJECT: SPRING ESTATES
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DRAWN BY: MICHAEL D. LITTLE
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SHEET:
604